



CANTERBURY OLYMPIC ICE RINK REDEVELOPMENT

DEVELOPMENT APPLICATION - AMENDED SCHEME - NOVEMBER 2024

17A PHILLIPS AVENUE, CANTERBURY

AMENDMENTS LIST AS CLOUDED ON DRAWINGS

- B1** Site boundaries modified
- B2** Vertical panelling
- B3** Adjusted NW corner to remain within tenancy boundary
- B4** Tasker Park landscape simplified at Council's request
- B5** Car park facade simplified with upper volume extended
- B6** Plant screening extended
- B7** New works and maintenance works indicated on sections
- B8** New brick selection changed to better match existing
- C1** Northern wall demolition added to scope
- C2** Lot 2 overlap notes added
- C3** Corridor ramps removed
- C4** Minor changes to east facade cladding and stormwater drainage
- C5** Wording of Tasker Park works corrected
- C6** Zone of CLAC DA landscape to be modified by this DA

DRAWING SCHEDULE

DA000	Cover Sheet
DA001	Introduction
DA002	Exterior Artist's Impressions
DA003	Site & Context Analysis
DA004	Design Analysis
DA010	Ground Floor - Demolition Plan
DA011	First Floor - Demolition Plan
DA012	Roof - Demolition Plan
DA090	Proposed Site Plan
DA100	Ground Floor - Proposed Plan
DA101	First Floor - Proposed Plan
DA102	Roof - Proposed Plan
DA200	Streetscape Elevations
DA201	Proposed Elevations (South & West)
DA202	Proposed Elevations (North & East)
DA300	Proposed Sections
DA400	External Finishes
DA500	Interior Artist's Impressions
DA600	Shadow Diagrams - Existing
DA601	Shadow Diagrams - Proposed
DA700	Notification Plans
DA701	Notification Elevations

PROJECT DESCRIPTION

The proposed development is located at 7 Wairoa Street, Canterbury, NSW, adjacent to Wairoa Avenue, Phillips Avenue, Tasker Park and Canterbury Leisure and Aquatic Centre (CLAC). The site falls within the City of Canterbury Bankstown Local Government Area and is identified as Lot 1 DP818459, with minor encroachments onto Lot 2 DP 818459. The site is within 'Public Recreation – RE1' and 'Infrastructure – SP2' zones as per Canterbury LEP 2012.

The project arises from two significant impacts:

- the demolition of the previous CLAC grandstand by Council has resulted in the demolition of the Ice Rink's skate hire zone and hockey change rooms and the opening of the eastern facade (enclosed with temporary works at present)
- the roof structure spanning over the ice rink itself was deemed unsafe in August 2022, resulting in the closure of the centre until the roof can be replaced

While the replacement of the roof is shown in this DA, it is not considered material to the DA, but is rather a maintenance upgrade of a structure deemed unsafe.

The proposed redevelopment includes:

- Replacement of the skate hire and change rooms on the western side of the building due to Council demolition of the previous spaces on the eastern side
- Replacement of multiple grandstands on the eastern side of the rink with a consolidated grandstand with storage underneath
- Inclusion of a platform lift to access the grandstand
- Inclusion of an elevator providing wheelchair access to the First Floor
- The addition of a new "Multipurpose Space" on top of the change rooms to allow for improved amenity during competition events and a flexible space for the benefit of various user groups.



Location Plan
1:7000

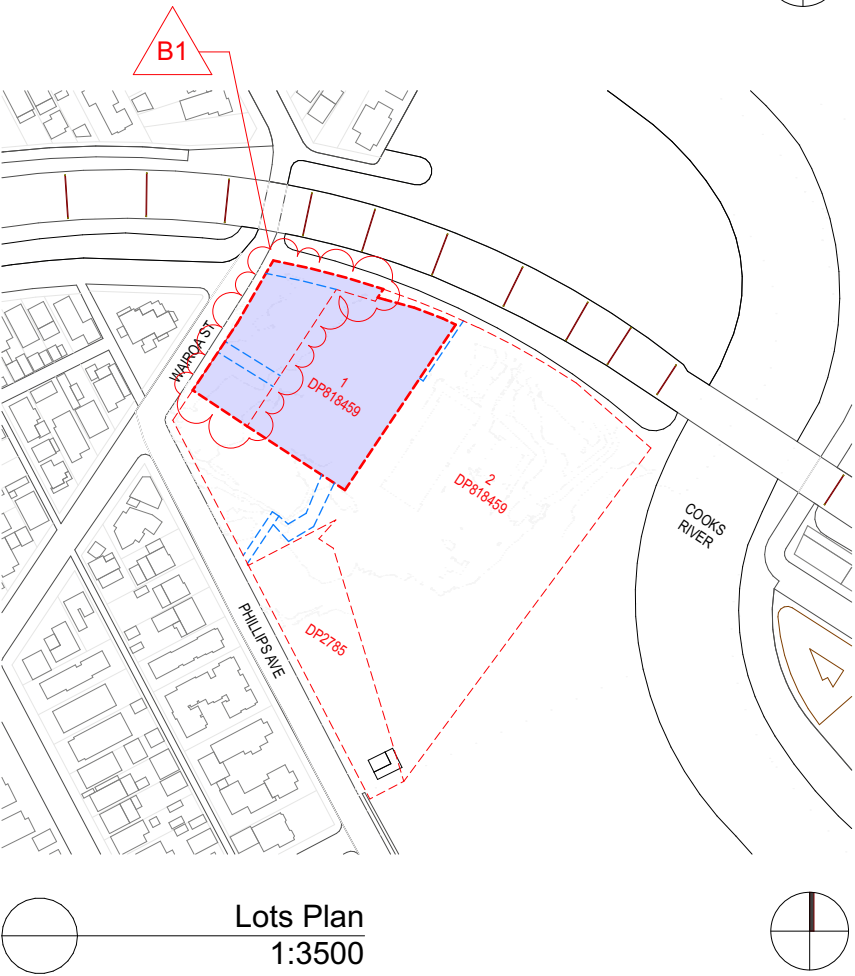
AREA SUMMARY

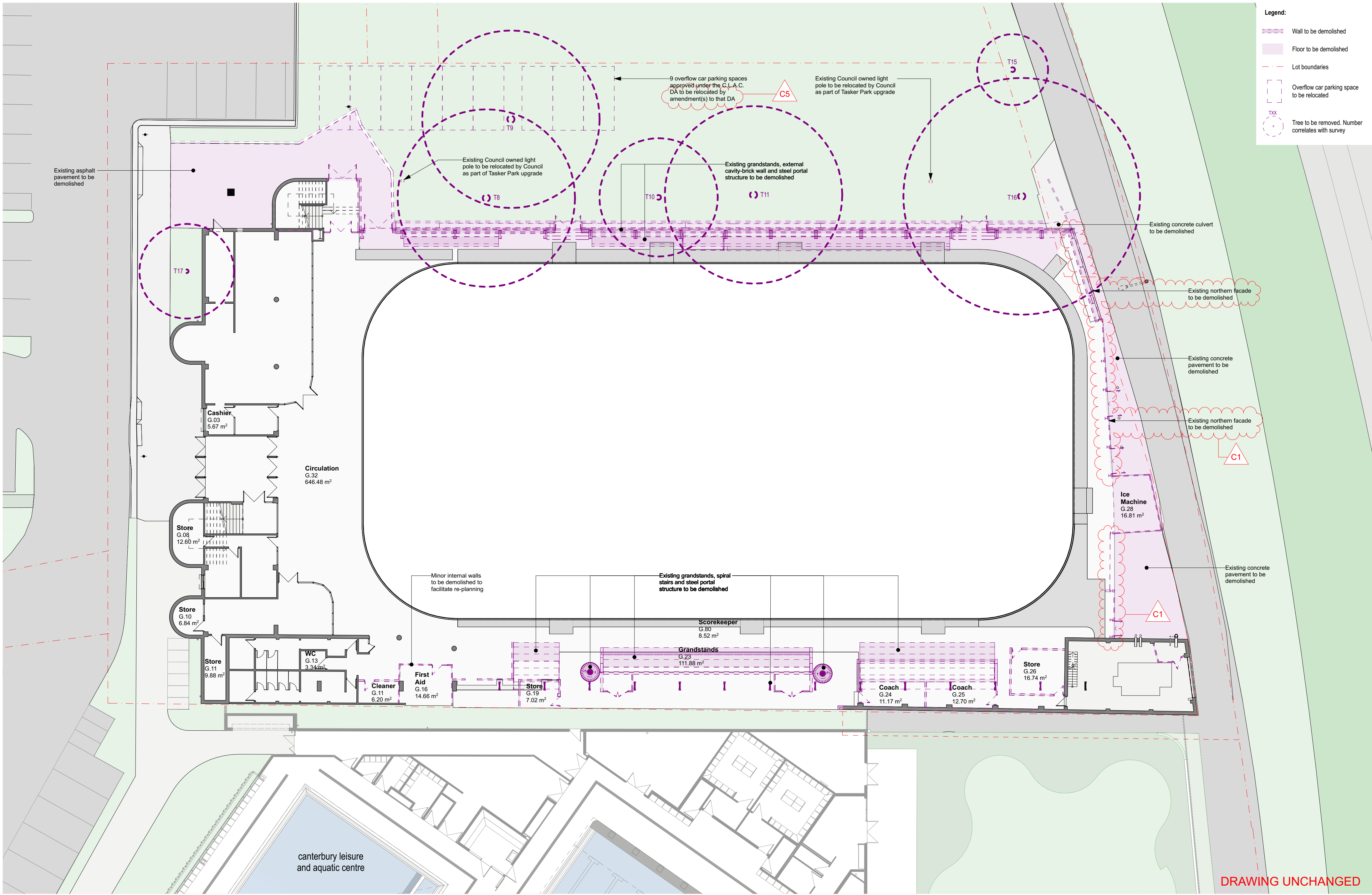
Existing Site Area (nom.)	4,639 sq.m
Existing GFA (nom.)	3,779 sq.m
Existing FSR (nom.)	0.81 : 1
Proposed Site Area (nom.)	4,298 sq.m
Proposed GFA (nom.)	5,069 sq.m
Proposed FSR (nom.)	1.09 : 1

LOTS

LOT NUMBER	AREA (NOM.)
1/ DP 818459	4,298 sq.m
2/ DP 818459	21,711 sq.m

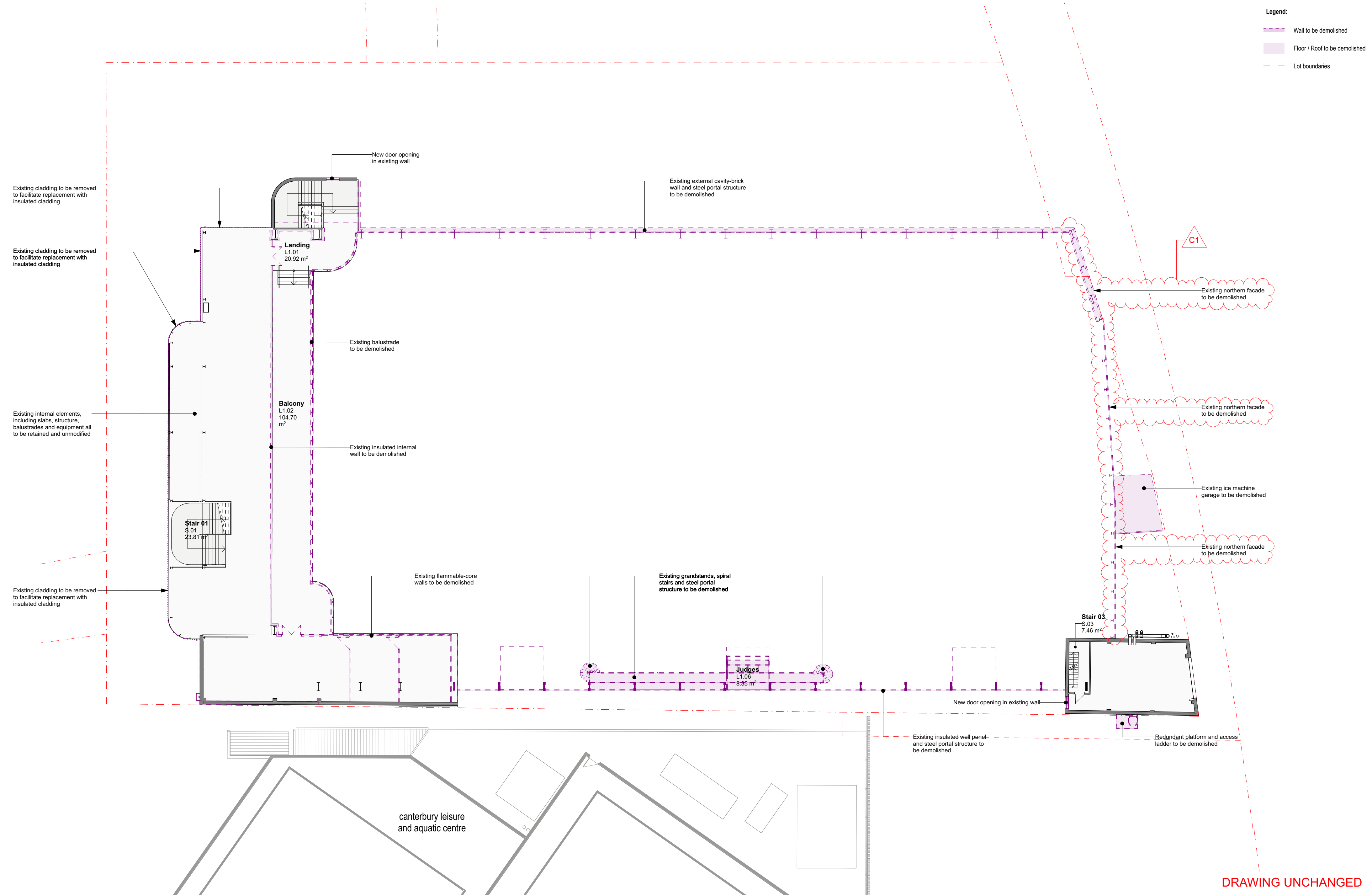
- Lots
- Easements
- Proposed Site





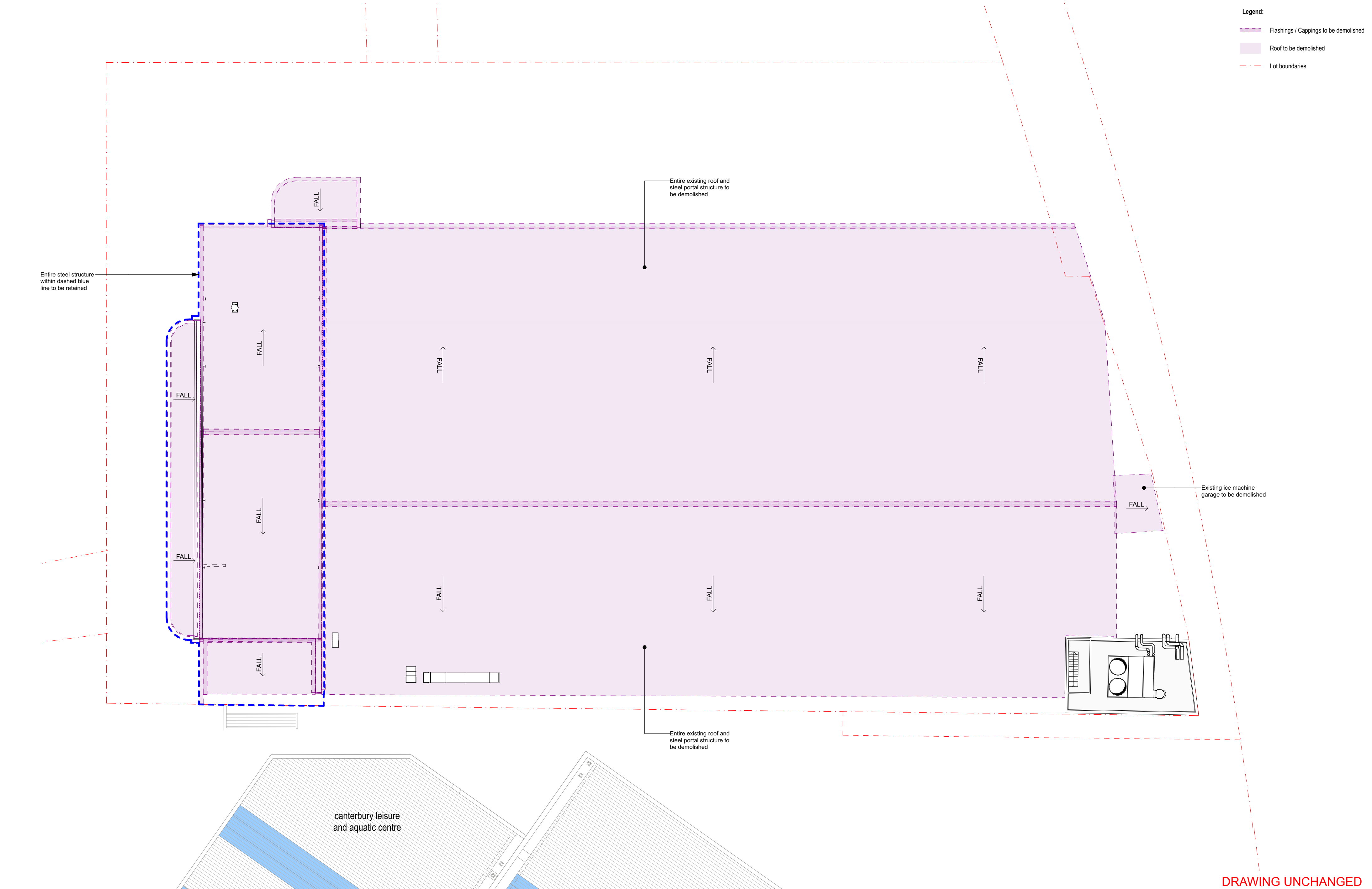
- Legend:**
- Wall to be demolished
 - Floor to be demolished
 - Lot boundaries
 - Overflow car parking space to be relocated
 - Tree to be removed. Number correlates with survey

DRAWING UNCHANGED



- Legend:**
- Wall to be demolished
 - Floor / Roof to be demolished
 - Lot boundaries

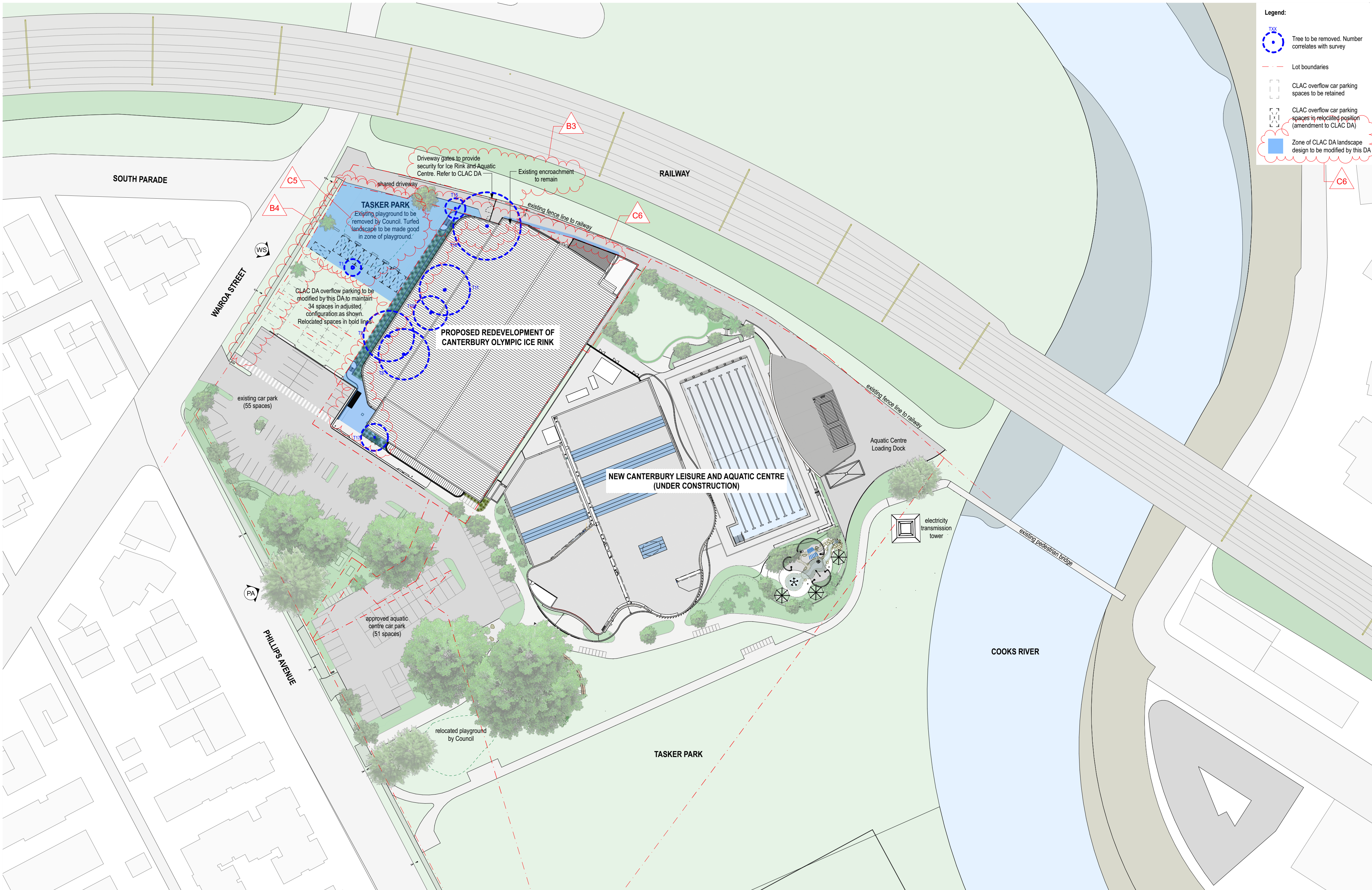
DRAWING UNCHANGED



- Legend:
- Flashings / Cappings to be demolished
 - Roof to be demolished
 - Lot boundaries

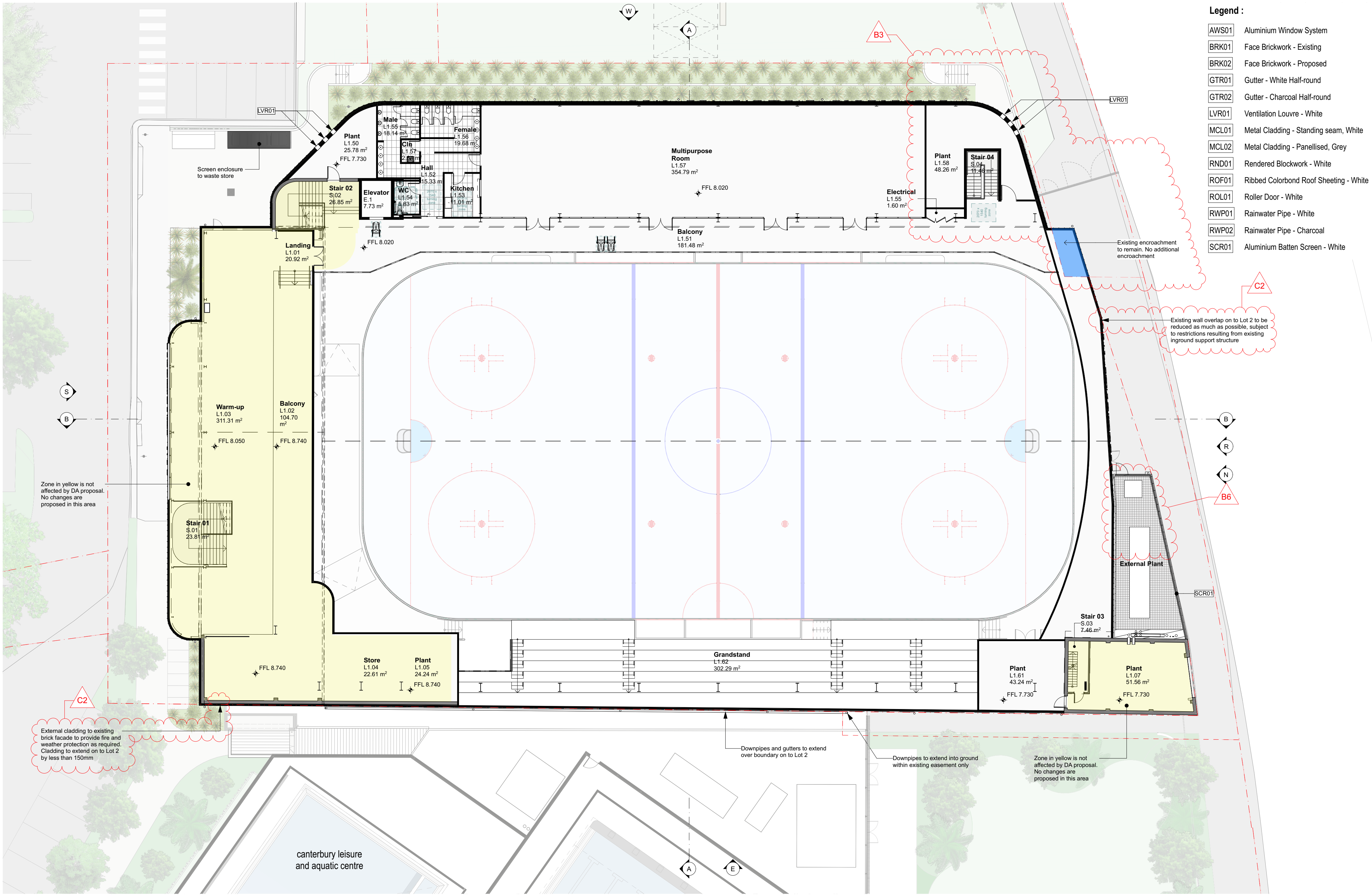
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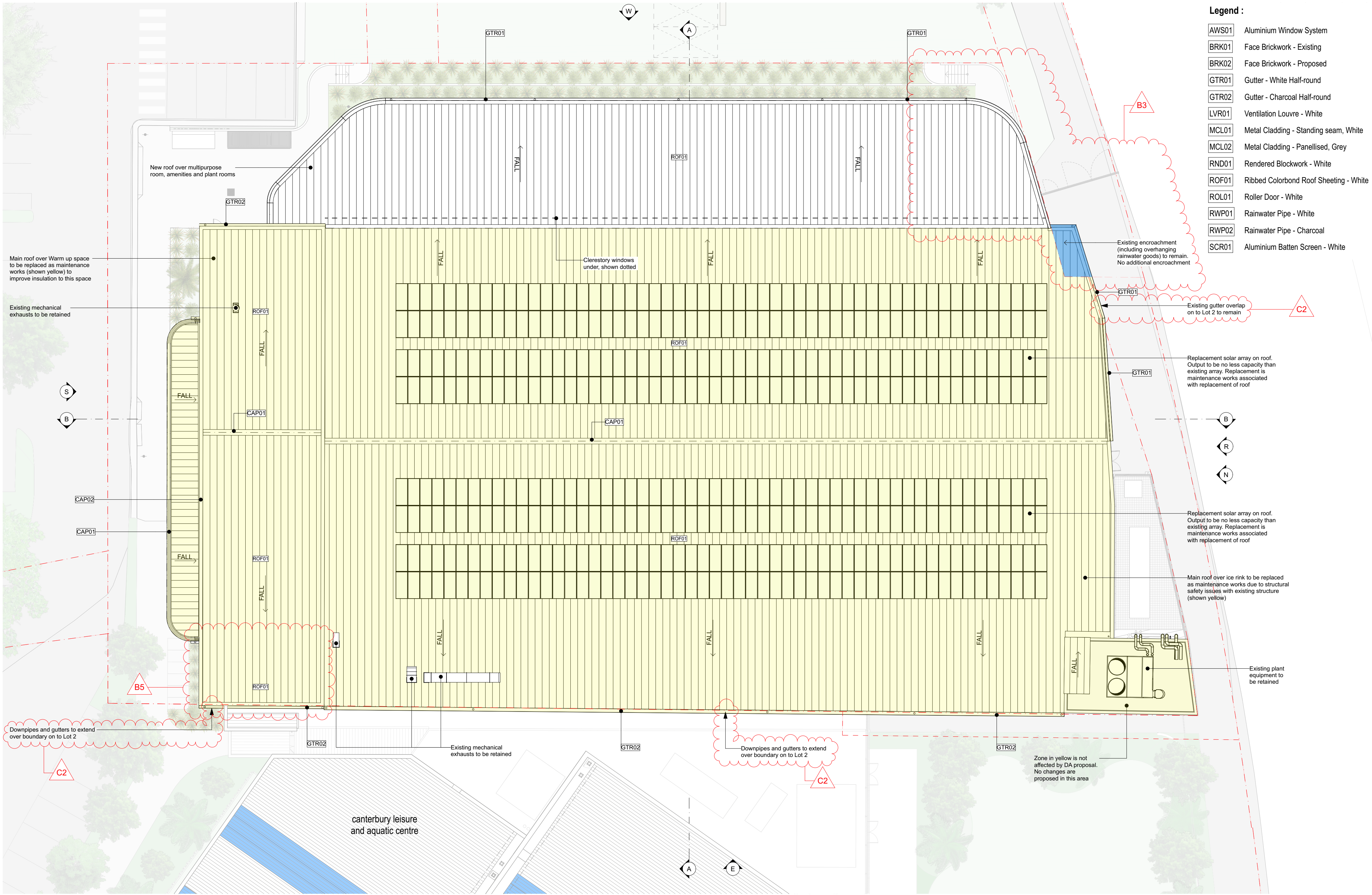


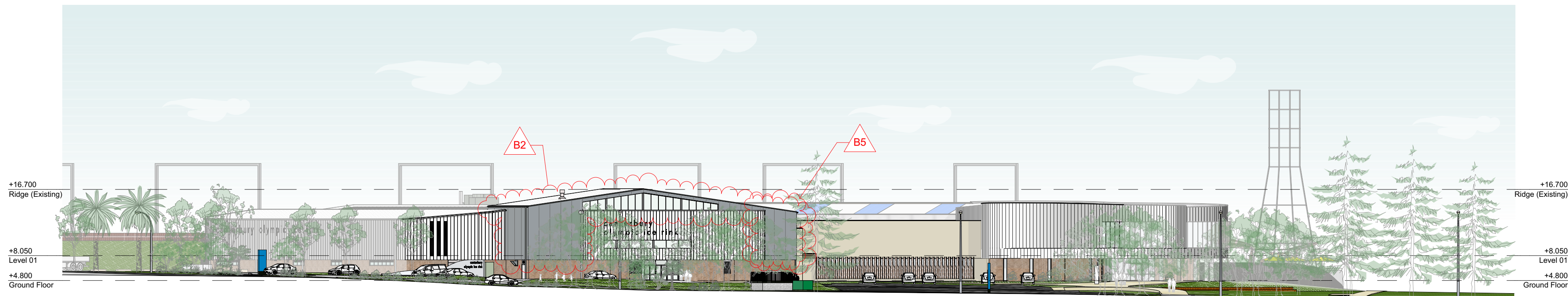
- Legend:**
- Tree to be removed. Number correlates with survey
 - Lot boundaries
 - CLAC overflow car parking spaces to be retained
 - CLAC overflow car parking spaces in relocated position (amendment to CLAC DA)
 - Zone of CLAC DA landscape design to be modified by this DA



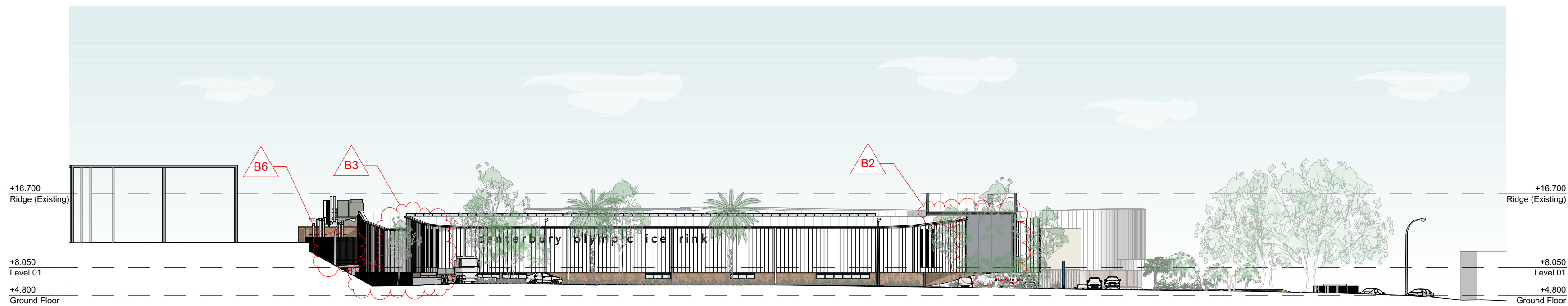


- Legend :**
- AWS01 Aluminium Window System
 - BRK01 Face Brickwork - Existing
 - BRK02 Face Brickwork - Proposed
 - GTR01 Gutter - White Half-round
 - GTR02 Gutter - Charcoal Half-round
 - LVR01 Ventilation Louvre - White
 - MCL01 Metal Cladding - Standing seam, White
 - MCL02 Metal Cladding - Panellised, Grey
 - RND01 Rendered Blockwork - White
 - ROF01 Ribbed Colorbond Roof Sheetting - White
 - ROL01 Roller Door - White
 - RWP01 Rainwater Pipe - White
 - RWP02 Rainwater Pipe - Charcoal
 - SCR01 Aluminium Batten Screen - White





1 Phillips Ave Elevation
1:400



2 Wairoa Elevation
1:400



3 Railway Elevation
1:400

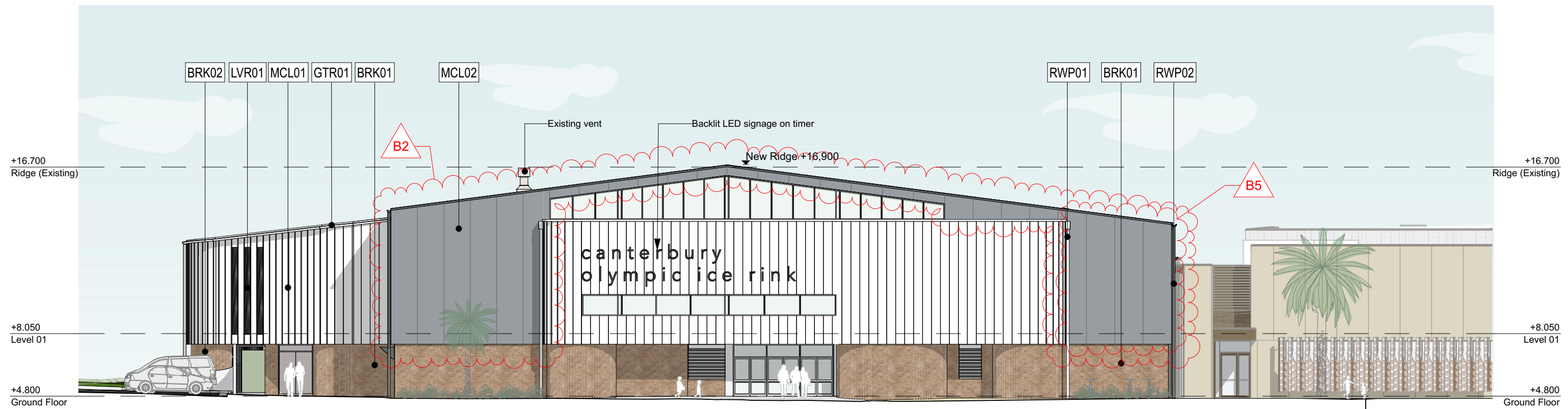


canterbury olympic ice rink

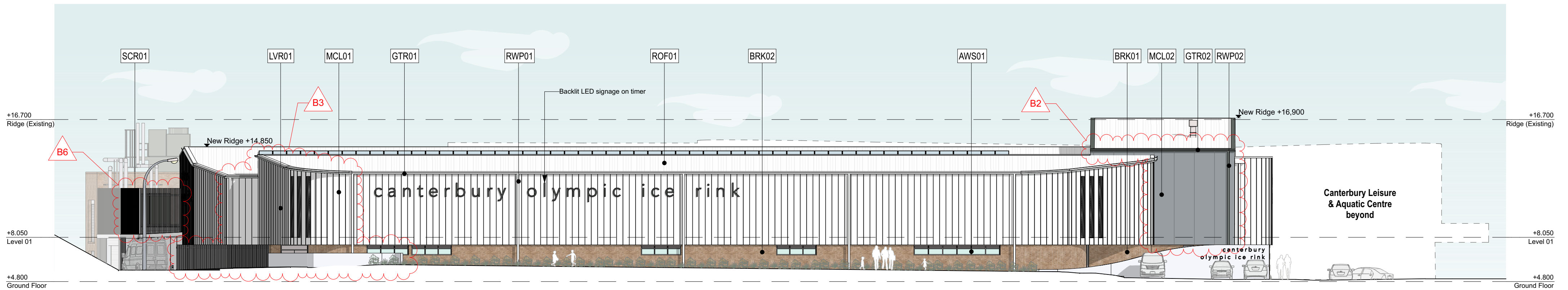
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kennedy associates architects
project
Canterbury Olympic Ice Rink Redevelopment
17A Phillips Ave,
Canterbury NSW 2193

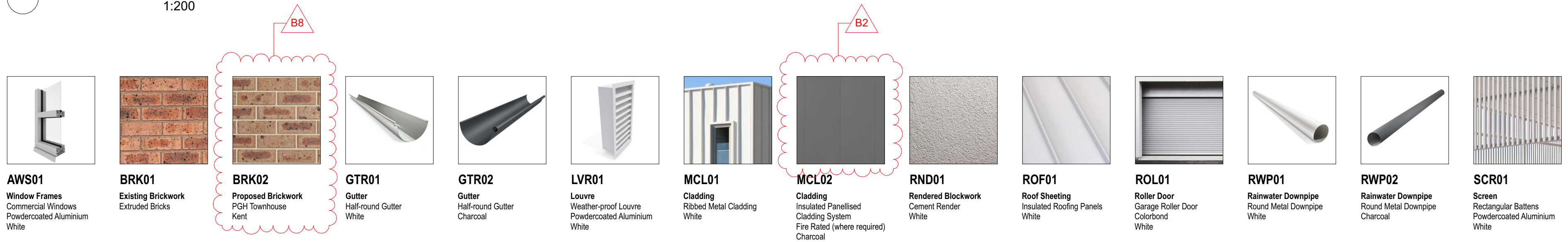
C Amended DA Package 16/12/2024 source file: 2221 - SD Master_v26_03
Level 3, 1 Booth Street E mail@kennedyassociates.com.au P +61 2 9557 6466
Annandale NSW 2038 W www.kennedyassociates.com.au F +61 2 9557 6477
drawing name
drawing number - 2221 DR SK 16/12/24 rev no. C
nominated architects Steve Kennedy Anthony Nolan
NSW ARB 5828 NSW ARB 6773
Streetscape Elevations
2221-DA200



2 South Elevation - Proposed
1:200



1 West Elevation - Proposed
1:200

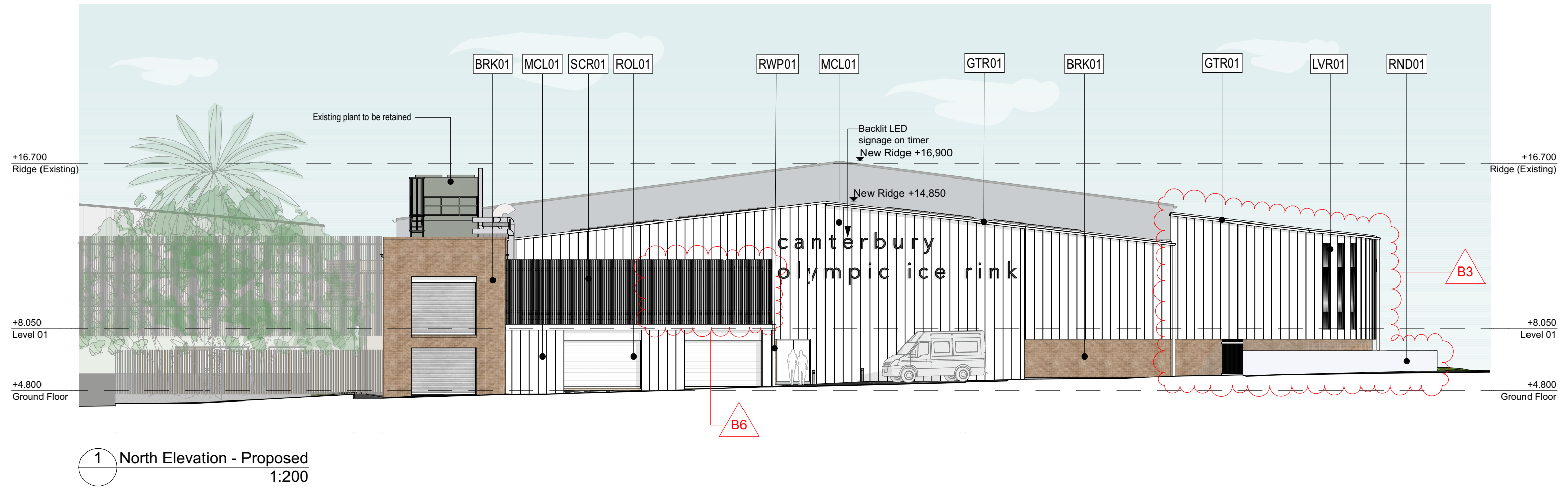


canterbury olympic ice rink

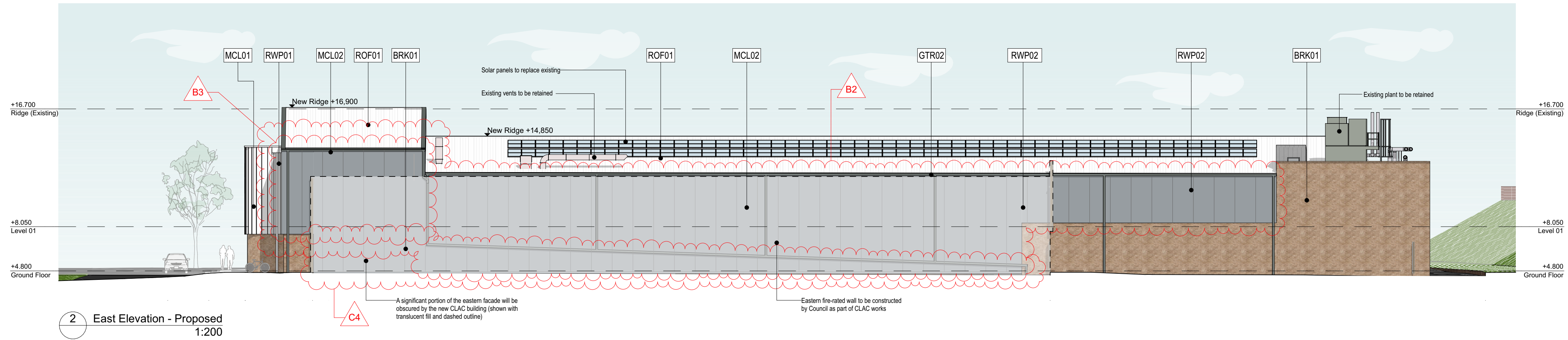
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project
Canterbury Olympic Ice Rink Redevelopment
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Canterbury NSW 2193

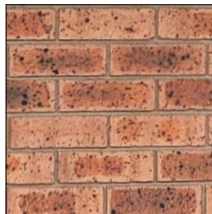





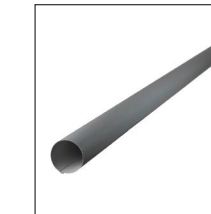
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16/12/2024
source file: 2221 - SD Master_v26_03
Level 3, 1 Booth Street E mail@kennedyassociates.com.au P +61 2 9557 6466
Annandale NSW 2038 W www.kennedyassociates.com.au F +61 2 9557 6477
drawing name
Proposed Elevations (South & West)
2221-DA201
C
nominated architects Steve Kennedy Anthony Nolan
NSW ARB 5828 NSW ARB 6773
project no. 2221 drawing number - DR checked by SK date 16/12/24 rev no.

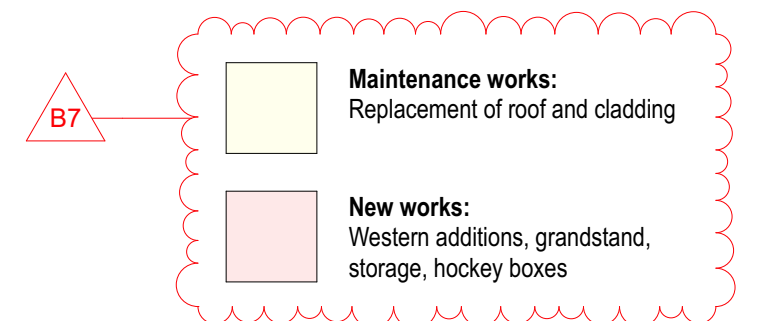
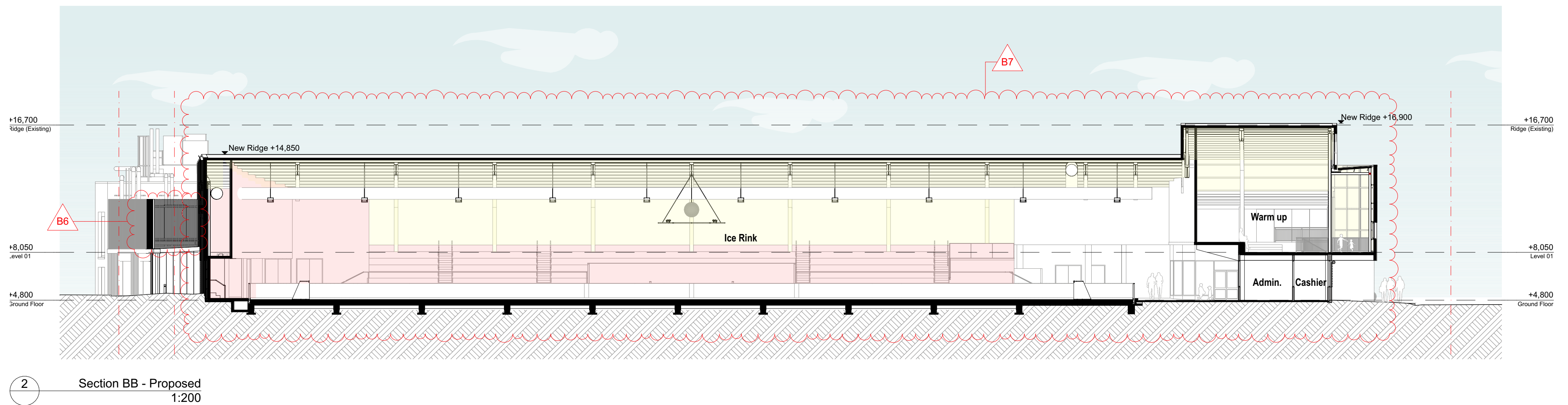
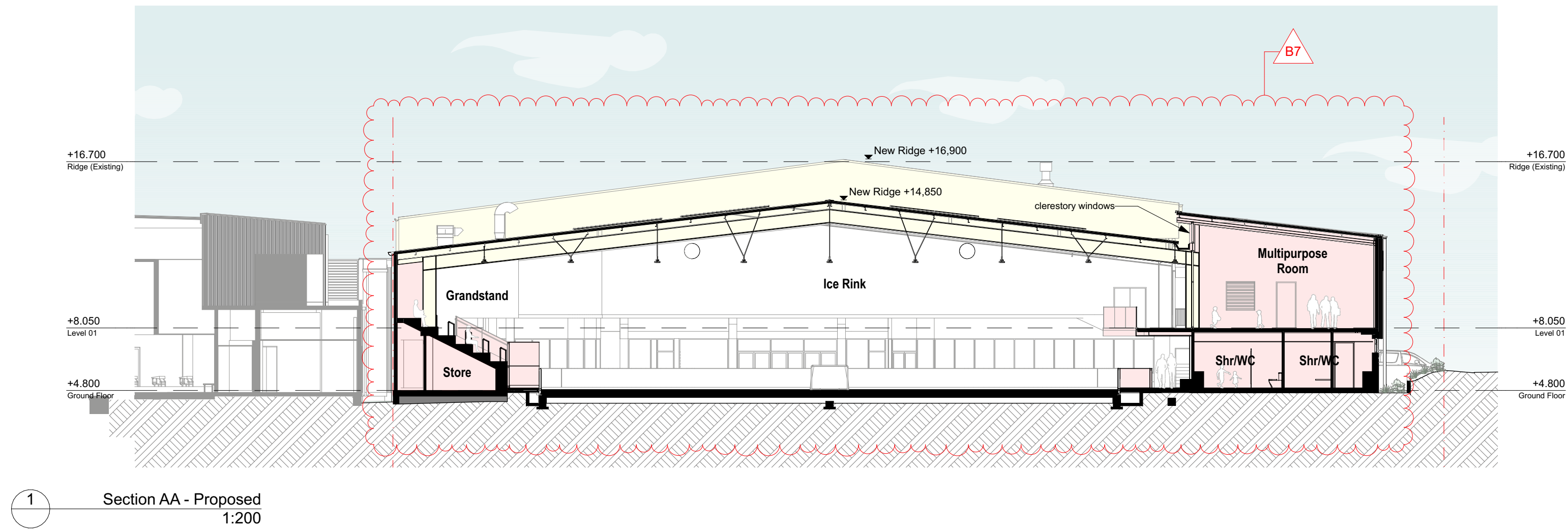


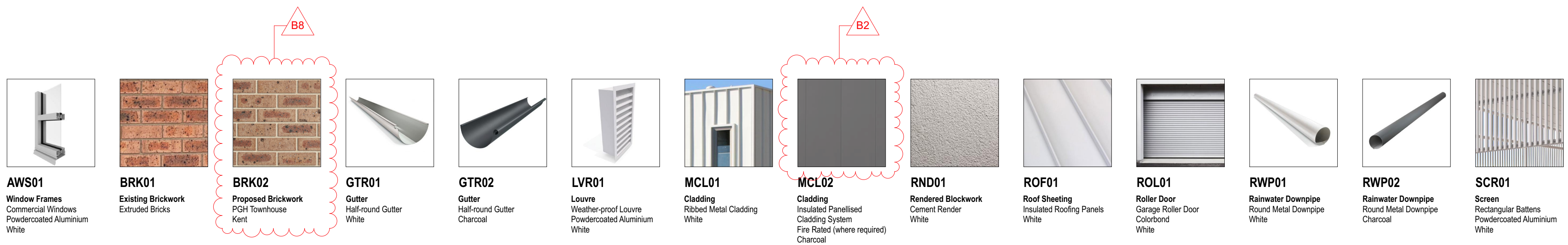
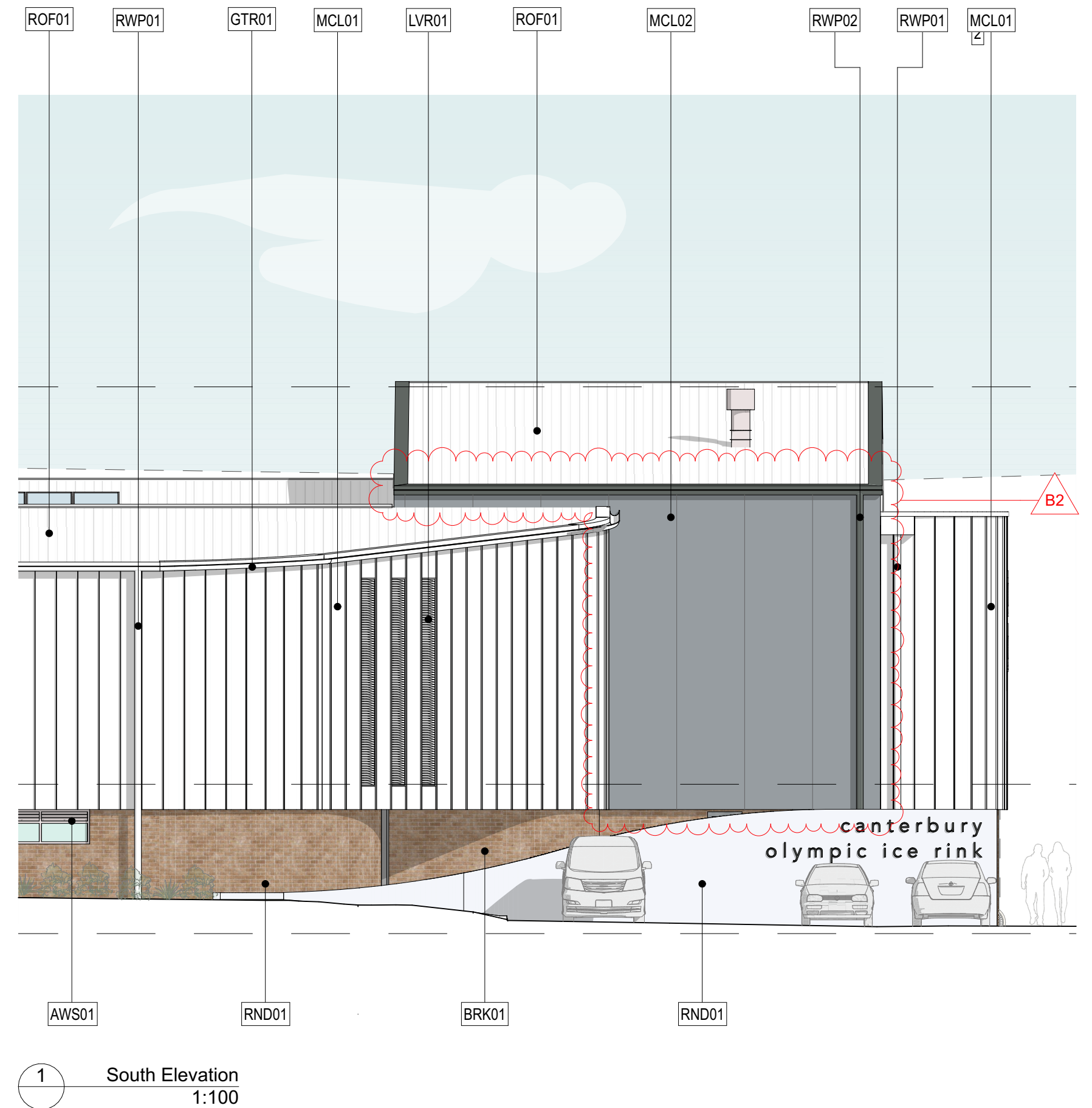
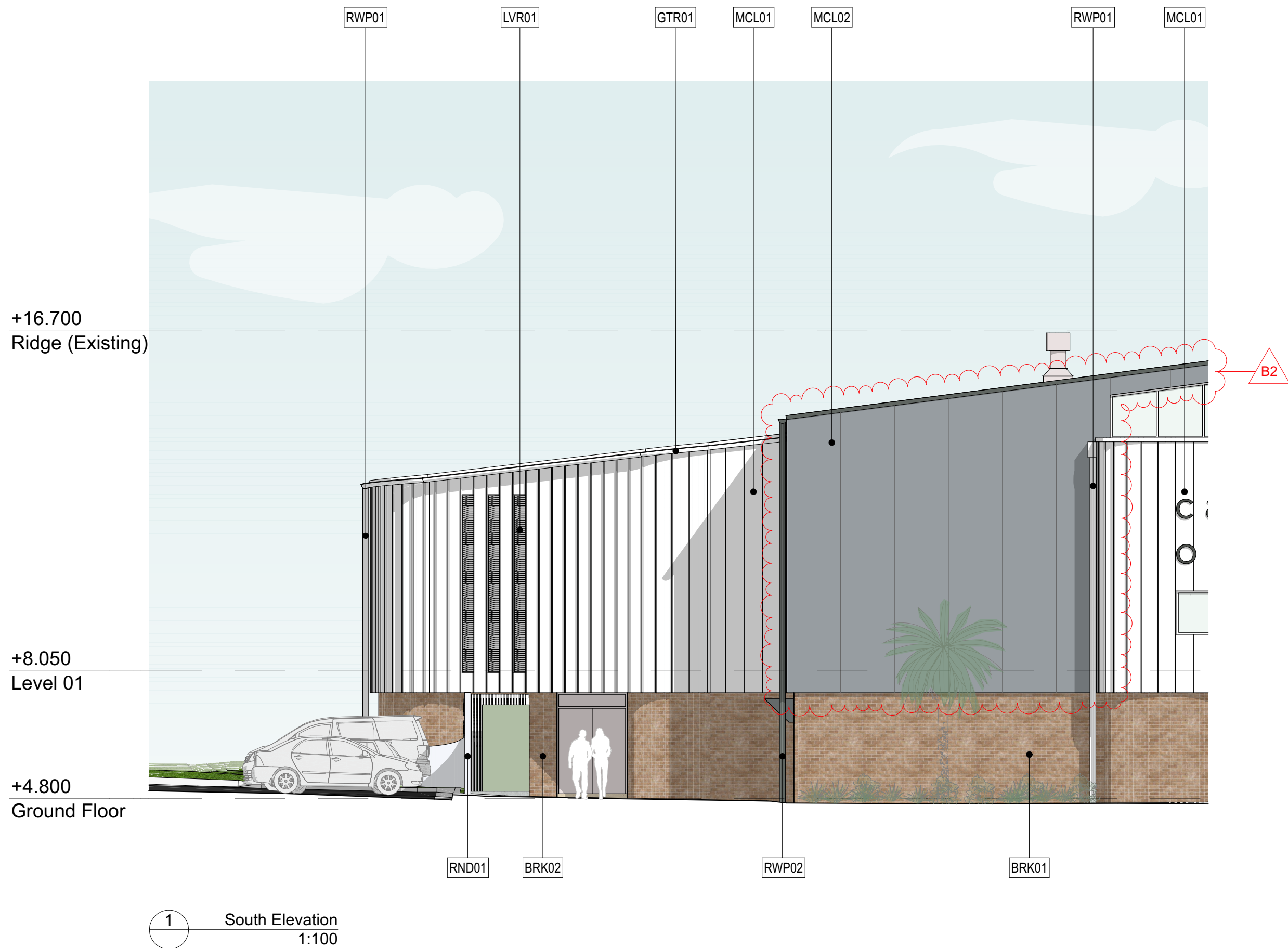
1 North Elevation - Proposed
1:200

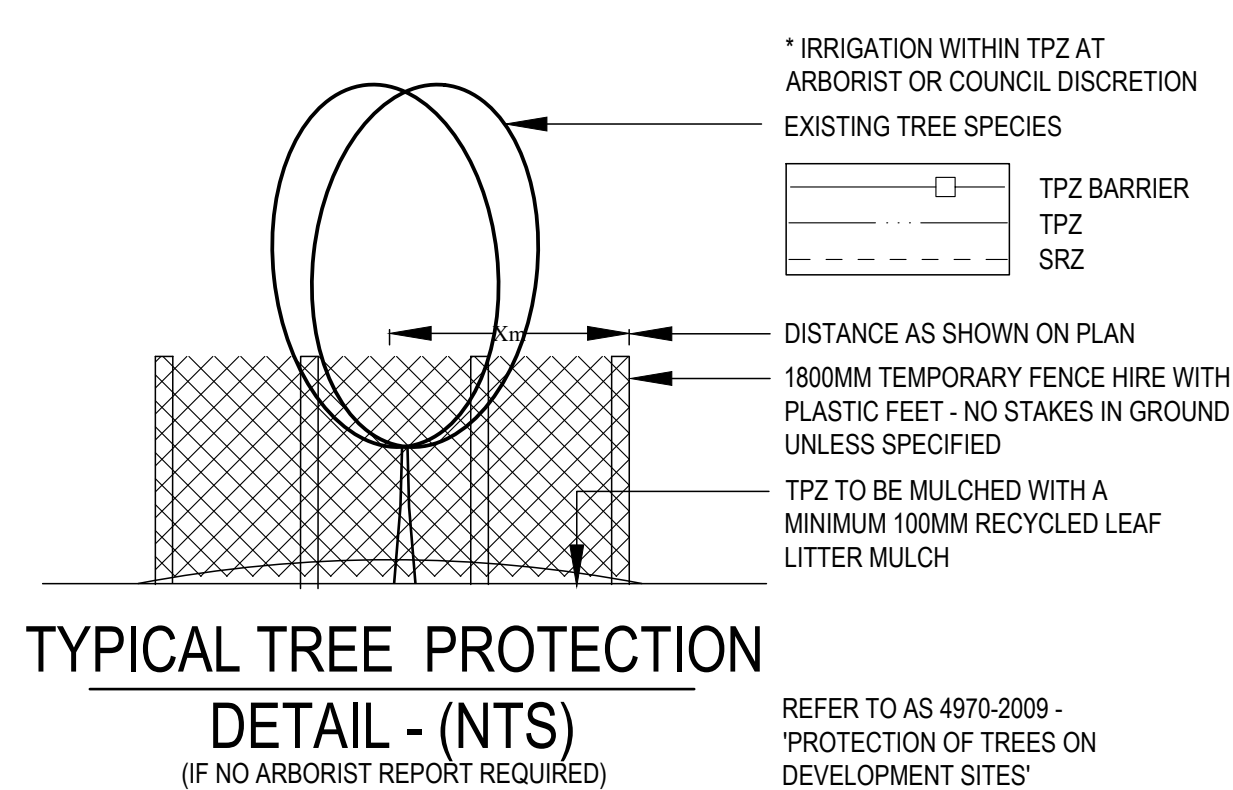


2 East Elevation - Proposed
1:200

													
AWS01 Window Frames Commercial Windows Powdercoated Aluminium White	BRK01 Existing Brickwork Extruded Bricks	BRK02 Proposed Brickwork PGH Townhouse Kent	GTR01 Gutter Half-round Gutter White	GTR02 Gutter Half-round Gutter Charcoal	LVR01 Louvre Weather-proof Louvre Powdercoated Aluminium White	MCL01 Cladding Ribbed Metal Cladding White	MCL02 Cladding Insulated Panellised Cladding System Fire Rated (where required) Charcoal	RND01 Rendered Blockwork Cement Render White	ROF01 Roof Sheetting Insulated Roofing Panels White	ROL01 Roller Door Garage Roller Door Colorbond White	RWP01 Rainwater Downpipe Round Metal Downpipe White	RWP02 Rainwater Downpipe Round Metal Downpipe Charcoal	SCR01 Screen Rectangular Battens Powdercoated Aluminium White

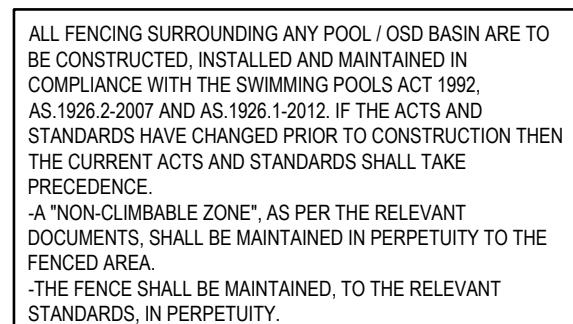






RETAINING WALL NOTES

- RETAINING WALL SECTIONS LOCATIONS SHOWN ARE INDICATIVE ONLY, AND SITE CONDITIONS, AND ENGINEERS SPECIFICATIONS, SHALL TAKE PRECEDENCE.
- RETAINING WALL TOP AND BOTTOM OF WALL HEIGHTS ARE "BEST GUESS" INDICATIVE ONLY, BASED ON INFORMATION PROVIDED, AND THE CONTRACTOR SHALL VERIFY AND RECONSTRUCT WALLS TO SITE CONDITIONS ACCORDINGLY.
- RETAINING WALL MATERIAL SELECTION AND CONSTRUCTION ARE THE OWNERS/CONTRACTORS RESPONSIBILITY.
- ALL RETAINING WALLS SHALL BE CONSTRUCTED TO THE MANUFACTURERS/ENGINEERS SPECIFICATION, AND BE CONSISTENT WITH AS 4678-2002.
- ALL RETAINING WALLS SHALL BE PROVIDED WITH DRAINAGE, AND DRAINAGE SHALL BE PROVIDED TO THE OWNERS AND COUNCIL SPECIFICATION. DRAINAGE SHALL NOT CONNECT TO ANY PIPES LEADING TO A RAINWATER TANK.
- ALL RETAINING WALL CONSTRUCTION SHALL TAKE INTO ACCOUNT SITE CONDITIONS AND ADAPT ACCORDINGLY.
- ALL RETAINING WALLS SHALL BE CONSTRUCTED WITHIN THE ZONE OF INFLUENCE OF ANY SERVICES FOUND ON SITE, OR ON THE SURVEY PROVIDED, THE SERVICES OF A QUALIFIED AND REGISTERED ENGINEER AND/OR ADVISE FROM SERVICE PROVIDER MUST BE OBTAINED.
- ALL RETAINING WALLS AND ASSOCIATED WORKS SHALL BE CONSTRUCTED WHOLLY WITHIN THE BOUNDS OF THE SUBJECT PROPERTY, CONSISTENT WITH THE INDICATIVE DIVISIONS PROVIDED.
- ALL FILL PLACEMENT IS TO BE CARRIED OUT IN ACCORDANCE WITH AS3798-2007 "GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENT".
- HANDRAILS SHALL BE CONSTRUCTED TO ALL RETAINING WALLS AS REQUIRED BY NCC-3.9.2.
- RETAINING WALL DRAINAGE POINTS, AND ALL OTHER WORKS, SHALL BE INSPECTED AT REGULAR (ONCE YEARLY) MINIMUM INTERVALS BY A QUALIFIED ENGINEER, AND RECTIFIED IMMEDIATELY, FOR THE LIFE OF THE WALL.



PLANTING/MAINTENANCE NOTES

- GLAZED OR POLISHED PLANTING HOLES, PARTICULARLY IN CLAY SOILS SHOULD BE AVOIDED. PLANTS TO BE MOUND DURING THESE SOIL TYPES.
- CONTRACTOR SHALL CHECK AND AMEND PH AS REQUIRED BY SITE CONDITIONS.
- SOIL MIX SHALL MEET AS 4419-2018, AND SOIL CONDITIONERS, MULCHES, AND COMPOSTS SHALL MEET AS 4454-2012.
- TREE STIP SHALL MEET AS 2303-2018.
- PLANTING SHOULD BE PLANTED STRAIGHT, WITH THE TOP OF THE ROOT BALL LEVEL, WITH THE SOIL SURFACE.
- PLANTS SHOULD BE WATERED AS SOON AS POSSIBLE AFTER PLANTING, ONCE WEEKLY FOR A PERIOD OF NO LESS THAN 12 MONTHS, AND ONCE MONTHLY THEREAFTER. THE VOLUME OF WATER SHALL BE THE SAME AS THE POT SIZE AT PLANTING TIME.
- PLANTING SHOULD BE AVOIDED AT THE HEIGHT OF SUMMER MONTHS (JUNE, JULY, AUGUST).
- WATER CRYSTALS MAY BE USED TO REDUCE THE AMOUNT OF WATER STRESS SUFFERED BY THE PLANT.
- IF A FERTILIZER IS TO BE APPLIED, A SLOW RELEASE 8 - 9 MONTH PLANT FOOD PREFFERED. AN OVERNOURIOUS FERTILIZER WILL BE PENALTY FOR ALIENATIVE SPECIES.
- THE OWNER, OR THEIR REPRESENTATIVE, IS TO MAINTAIN THE HEALTH OF THE LANDSCAPED AREAS FOR THE LIFE OF THE DEVELOPMENT.
- PLANTS WITHIN THE LANDSCAPE PLAN SHOULD BE PLANTED. PERMISSION SHOULD BE SOUGHT BEFORE ALTERING THE PLANT SPECIES LIST (ON MOST OCCASIONS NURSERY CAN SUBSTITUTE).
- OCCASIONS WILL BE REQUIRED OF PESTS, DISEASE AND WEEDS AND NOT POT BOUND.
- REPLACEMENT PLANTS SHOULD BE MADE AVAILABLE FOR ANY LOSSES OF PLANT STOCK THAT MAY OCCUR FOR A MINIMUM 12 MONTH PERIOD.
- PLANTS SHOULD BE MAINTAINED/REMOVED ON A FORTNIGHTLY BASIS, IN ACCORDANCE WITH BIODIVERSITY CONSERVATION ACT 2016 AND ANY LOCAL COUNCIL POLICY.
- PEST, OR DISEASE SAMPLES SHOULD BE TAKEN TO THE LOCAL NURSERY FOR IDENTIFICATION AND APPROPRIATE REMEDY.

LANDSCAPE MAINTENANCE SCHEDULE

MAINTENANCE TASK MINIMUM 12 MONTHS	WEEKLY	B-WEEKLY	MONTHLY	QUARTERLY	YEARLY	AS REQUIRED
TREES/SHRUBS/ GARDEN BEDS						
WATER						
HEDGE						
PRUNE						
FERTILIZER (SLOW RELEASE)						
WEED (SPRAYHAND WEED)						
MULCH (MIN. 75mm)						
TURF						
WATER						
MOW						
FERTILIZER						
WEED (SPRAYHAND WEED)						

NOTES

PRIOR TO COMMENCEMENT OF WORKS CLIENT SHALL VERIFY THAT CONTRACTORS ARE LICENSED AND INSURED TO CARRY OUT ALL WORKS.
 - CONTRACTOR TO CHECK CERTIFICATION AND STAMPED LANDSCAPE PLAN PRIOR TO WORKS COMMENCING.
 - CONTRACTOR TO LOCATE AND PROTECT ALL SERVICES PRIOR TO COMMENCEMENT OF WORKS. ALL SERVICES LIDS AND COVERS ARE TO BE LEFT EXPOSED AND UNCOVERED BY LANDSCAPE WORKS. ON-SITE ADJUSTMENT OF SERVICES TO ACCOMMODATE LANDSCAPE WORKS SHALL BE WITH THE APPROVAL OF, AND AT THE DIRECTION OF, THE RELEVANT AUTHORITY.
 - ALL DAMAGE TO SERVICES CAUSED BY WORKS SHALL BE MADE GOOD BY CONTRACTOR, AT CONTRACTORS EXPENSE, AND TO PROJECT MANAGER, OR REGULATORY AGENCIES.
 - LEVELS AND LOCATION OF WORKS. ON THIS PLAN ARE "BEST GUESS" INDICATIVE ONLY, BASED ON THE INFORMATION PROVIDED, AND SITE CONTRACTOR SHALL VERIFY ALL SITE DATA PRIOR TO COMMENCEMENT OF WORKS. LANDSCAPE WORKS SHALL COMPLY WITH ALL COUNCIL D.A. & C SPECIFICATION, AND AUS-SEPC-1-NSW C273 "LANDSCAPING" SPECIFICATION.
 - CONTRACTOR SHALL COMPLY WITH ALL RELEVANT WATER AUTHORITY REGULATIONS, AS WELL AS AS 2698 SPECIFICATION.
 - ALL MATERIALS SHALL BE LEFT TO MANUFACTURERS SPECIFICATION.
 - GARDEN BEDS NOT DIRECTLY IN CONTACT WITH THE EXISTING SITE SOIL SHALL BE PROVIDED WITH SUFFICIENT DRAINAGE.
 - IRRIGATION SHALL BE PROVIDED TO ALL MEETINGS OF DIFFERENT MATERIALS UNLESS OTHERWISE STATED. TRIP HAZARDS ARE TO BE IDENTIFIED AND RECTIFIED AS PART OF THE CONSTRUCTION PROCESS.
 - ALL SERVICES TO BE SUGGESTED UNDERNEATH GARDEN PATHWAYS.
 - GARDEN BEDS IN OSD BASINS TO BE NON-FLOATABLE DECORATIVE GRAVEL.
 - BUFFALO TURF, OR NON-WEED SPECIES TURF/LAWN, SUGGESTED.
 - CONTRACTOR TO MAKE GOOD NATURE STRIP TURF TO COUNCIL SPECIFICATION.
 - CONTRACTOR TO PROVIDE PLAN FOR OSD BASIN, & DRAINAGE DESIGN. FINAL LEVELS, PLAN FOR WORKS AND DRAINAGE ARE TO BE SUBJECT TO ENGINEERS DETAILS AND CERTIFICATION. IN THE ABSENCE OF ENGINEERS SPECIFICATION ALL SITE DATA IS TO BE PROVIDED TO CONTRACTOR. GRADE TIPS AND DRAINAGE, AND ALL AREAS TO BE GRADED TOWARDS SUCH TIPS.
 - DIMENSIONS SHOULD ALWAYS TAKE PRECEDENCE OVER SCALE.
 - ARCHITECTURAL SET-OUT NOT TO BE TAKEN FROM LANDSCAPE PLANS
 - ALL WORKS SHALL BE CONSTRUCTED TO AUSTRALIAN STANDARD, OR COUNCIL CONDITION, OR BEHINDS GUIDELINES. IN THE EVENT OF ANY DISCREPANCY BETWEEN THIS LANDSCAPE PLAN AND ANY RELEVANT STANDARD, CONDITION, GUIDELINE, OR CODE, THE STANDARD, CONDITION, GUIDELINE, OR CODE SHALL TAKE PRECEDENCE.
 - ALL PLANS, DESIGNS, AND IDEAS REMAIN THE PROPERTY OF D.A. LANDSCAPE PLANS AND SHOULD NOT BE COPIED.
 - UNDOUBTED CONSTRUCTION WITHOUT THE WRITTEN PERMISSION FROM THE OWNER.

DISCLAIMERS

- SITE SURVEY PROVIDED BY OTHERS. ALL DISCLAIMERS CARRIED BY PROVIDED SURVEY ARE CARRIED OVER TO THIS DOCUMENT.

- ALL SERVICES AND LOCATIONS OF SERVICES MUST BE LOCATED AND PROTECTED ON SITE BY CONTRACTOR PRIOR TO COMMENCEMENT OF WORKS. "DIAL BEFORE YOU DIG" SHOULD BE CONTACTED FOR RELEVANT INFORMATION.

- EXISTING TREE SPREAD APPROXIMATE ONLY.

- UNRELATED AREAS ARE NOT TO BE CUT AND SHOULD BE PRESERVED PRIOR TO CONSTRUCTION OF TENDERING. STANDARD PERCENTAGES SHOULD BE ALLOWED FOR CUTTING AND WASTAGE.

- NO LIABILITY WILL BE ACCEPTED FOR ANY LOSS, DAMAGE OR INJURY, WHETHER SPECIAL, CONSEQUENTIAL, DIRECT, OR INDIRECT, SUFFERED BY YOU OR ANY OTHER PERSON AS A RESULT OF THE USE OF THIS DRAWING.

- LANDSCAPE PLANTS TAKE NO RESPONSIBILITY FOR ANY VARIATIONS IN DESIGN, CONSTRUCTION METHODS, MATERIALS OR SPECIFICATIONS WITHOUT WRITTEN APPROVAL.

PLANT SCHEDULE

TREES	SYMBOL	QTY	POT	HEIGHT
			SIZE	
CUPANOPSIS ANACARDIOS (TUCKEROO)	CU	3	4SL	6-10
SHRUB/GROUND	SYMBOL	QTY	POT	HEIGHT
			SIZE	
ALPINA CAERULEA (NATIVE GINGER)	AC	6	15MM	1
CORDYLIN GLAUCIA (TILI PLANT)	CG	4	20MM	1.5
CRINUIM PEDUNCULATUS (STREAM LILY)	CP	13	20MM	1
DIANELLA LITTLE JESS (FLAX LILY)	DL	108	15MM	0.3
CORYDORUS CYCLOS (SNYDER LILY)	DC	12	20MM	1.5
CORDYLIN RUBRA (CORDLINE)	CR	8	20MM	1.5
HIBBERTIA SCANDENS (GAUDEA FLOWER)	HS	7	15MM	0.5
LOMANDIA HYSTRUM (FLOWERING MAT RUSH)	LH	7	20MM	1
MACROZAMIA MACROZAMIA (MACROZAMIA)	MC	7	20MM	1
LYCOPHYLLITES (GOLDEN CANE PALM)	CO	6	30MM	1
CORREA ALBA (WHITE CROCKET)	CA	16	20MM	1
VIOLA HEDERACEA (NATIVE VIOLET)	VS	150	TUBE	0.1








* = NATIVE SPECIES

NOTES ON PLANT SELECTION

THE MAJORITY OF THE PUBLIC FACING PLANT SPECIES SELECTION FOR THIS SITE ARE TAKEN FROM THE PLANT SCHEDULE SELECTION OF THE CANTERBURY AQUATIC AND LEISURE CENTRE DEVELOPMENT APPLICATION PREPARED BY TURF DESIGN STUDIO, AND LODGED AS A SEPARATE DA. THIS PLANT SELECTION HAS BEEN CHOSEN TO BLEND WITH THE EXISTING APPROVAL UNDER THAT DA.


THE SELECTION HAS BEEN ADDED TO AS REQUIRED TO ACHIEVE A GREATER HEIGHT AND SCREENING POTENTIAL.


LEGEND

	EXTENT OF AMENDMENT PROPOSED UNDER THIS APPLICATION
	EXISTING ELEMENTS AND ELEMENTS PROPOSED UNDER CLAC DA TO BE REMOVED FOR THIS APPLICATION
	HATCH INDICATING EXTENT OF REPLACEMENT TURF UNDER THIS APPLICATION
	HATCH INDICATING AREAS OF TURF TO BE REINFORCED FOR VEHICLE CARRIAGE
	TREES PROPOSED UNDER CLAC DA TO BE REMOVED FOR THIS APPLICATION
	EXISTING TREES PROPOSED TO BE RETAINED (GREEN LINE)
	EXISTING TREES PROPOSED TO BE REMOVED (RED DASH)

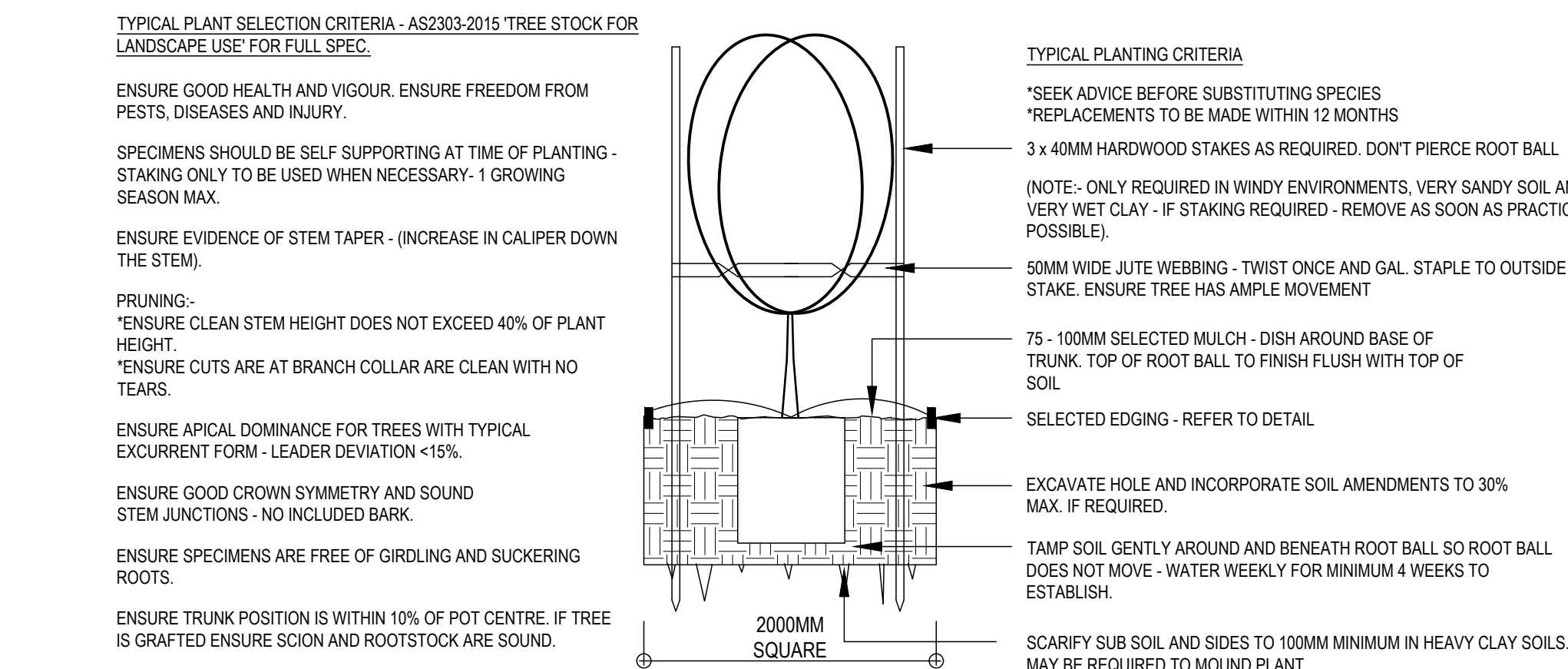
ALL SURFACE TREATMENTS, LEVELS, AND LOCATION: MATERIALS AND HEIGHTS OF RETAINING WALLS, AS SPECIFIED BY OTHERS. PLEASE REFER TO THE ARCHITECTURAL SET FOR FURTHER DETAILS.



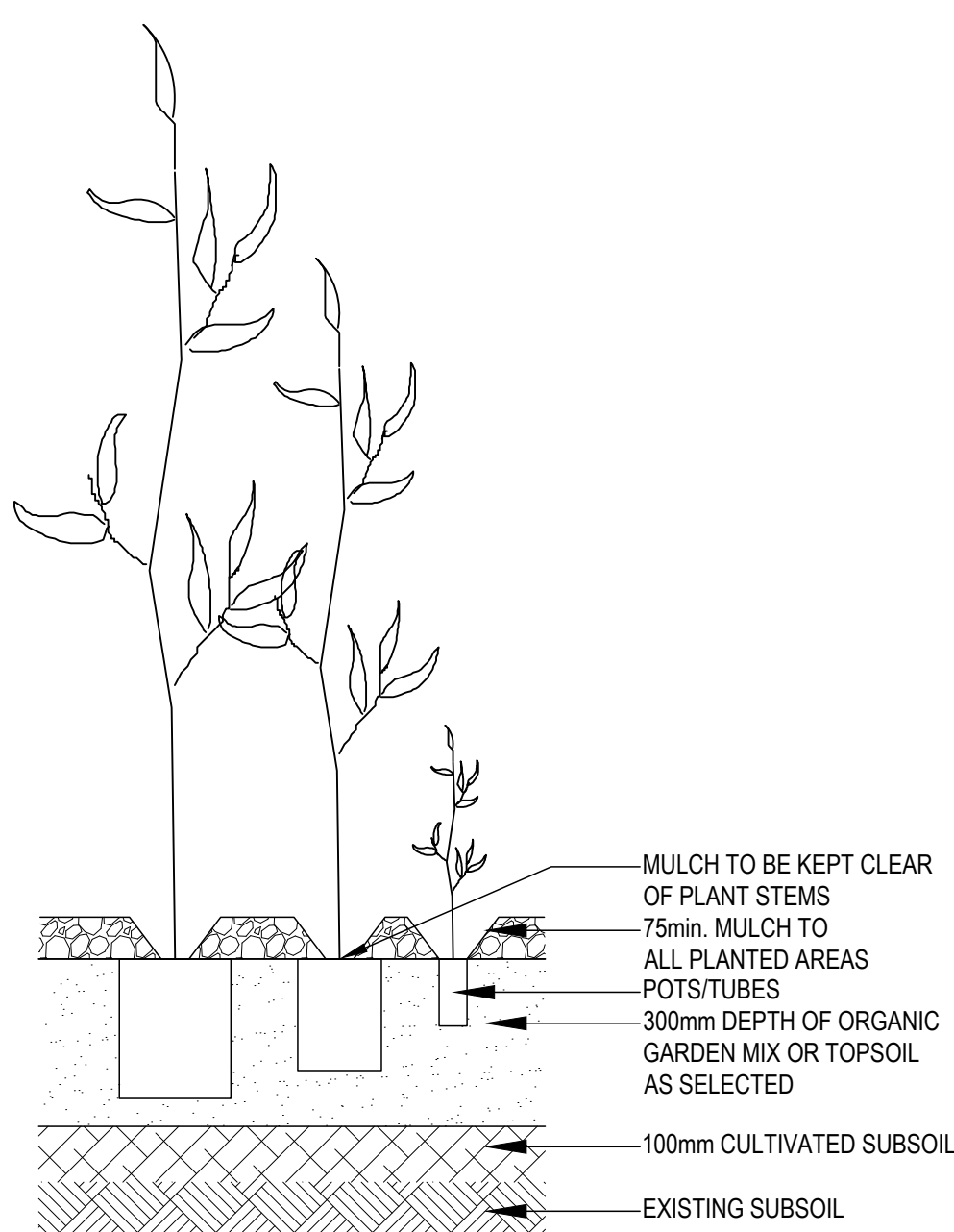

BEFORE YOU DIG
www.beyoudig.com.au
 Zero Damage • Zero Harm

 <p>LANDSCAPE PLANS 199 Jico Rd Hazelton, B.C. P.N. 0468400-145 office@landscapeplans.com</p>	PROJECT:		DATE:	REF #:
	PROPOSED DEVELOPMENT		2024.11.28	D1620
	DRAWN:		CJ	SHEET #:
	SCALE: 1:100 @ A1		1 of 2	

TITLE:	LANDSCAPE CONCEPT
ADDRESS:	17a PHILLIPS AVENUE CANTERBURY
CLIENT:	ICE SKATING CLUB OF NSW CO-OPERATIVE



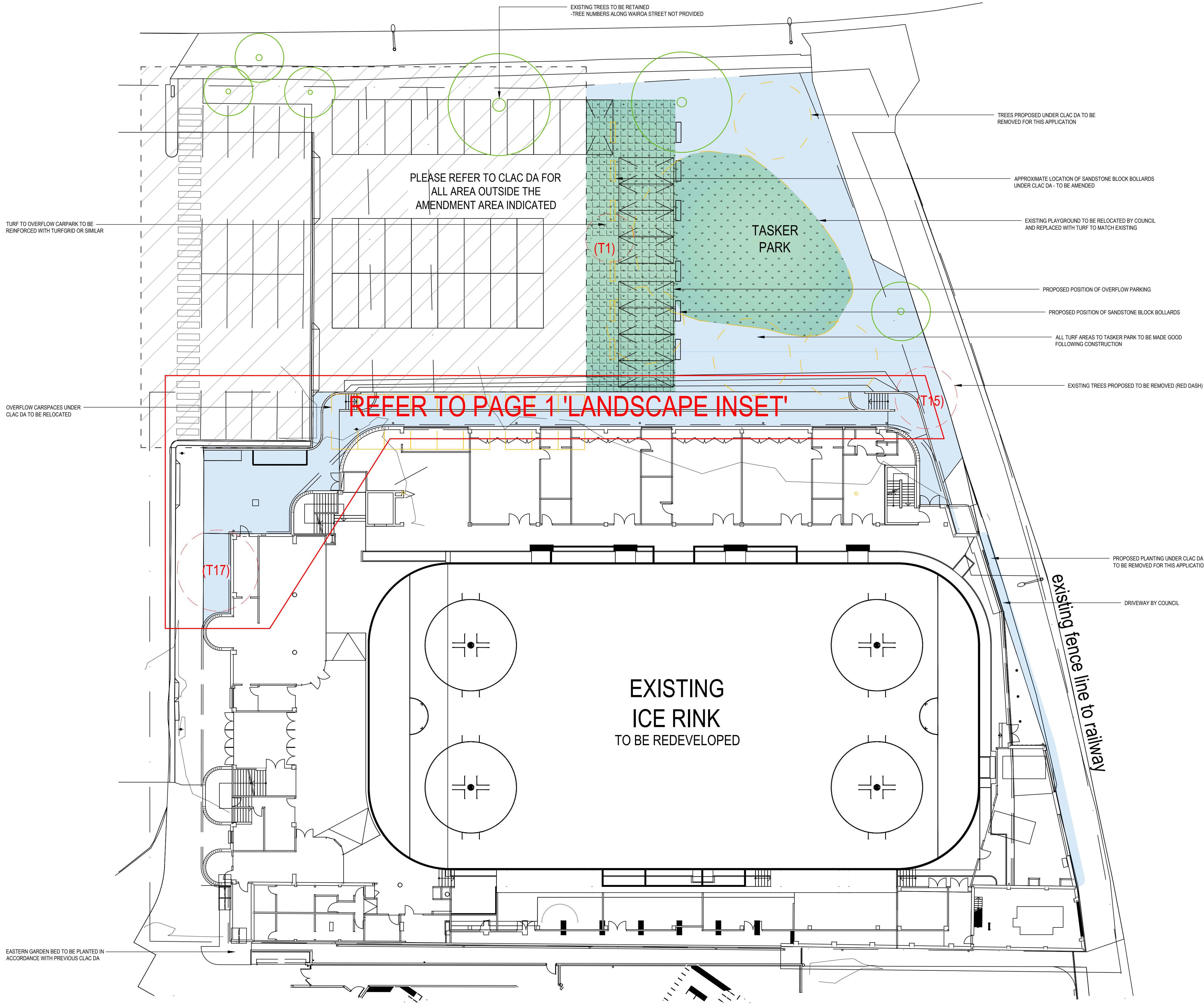
45-75LTR TYPICAL PLANTING
(NTS)



TYPICAL PLANTING DETAIL
(NTS)

NOTE: DA- LANDSCAPE PLANS RESERVES THE RIGHT NOT TO UNDERTAKE NOR SUPPLY CERTIFICATION FOR OCCUPATION CERTIFICATE.
NOTE: TO ADO COMPLIANCE WITH BASIX LEGISLATION, PLANTS (WHERE APPLICABLE) HAVE BEEN SELECTED FROM THE LOCAL CITY COUNCIL / SHIRE PLANT LISTS.
NOTE: LOCATION OF SEWER MAINS, LINES, WATER PIPES, UNDERGROUND ELECTRICITY AND OTHER SERVICES MUST BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK ON SITE. DIAL BEFORE YOU DIG 110.

CONTRACTORS NOTE: CALCULATED AREA DETERMINED BY DA HAS BEEN ROUNDED UP FOR USE AS A GUIDE ONLY. ALLOW STANDARD PERCENTAGES FOR CUTTING AND WASTAGE. CONFIRM DIMENSIONS AND NUMBERS PRIOR TO QUOTING / ORDERING. THIS PLAN AND DESIGN IS THE PROPERTY OF DA LANDSCAPE PLANS. IT IS NOT TO BE COPIED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE BUSINESS OWNER. REPRODUCTION PLAGIARISM OR FULL OR PARTIAL COPIES AN INFRINGEMENT OF COPYRIGHT. FULL TERMS AND CONDITIONS CAN BE OBTAINED FROM DA LANDSCAPE PLANS WEBSITE, OR UPON REQUEST. THIS PLAN MAY ONLY BE USED FOR ITS INTENDED PURPOSE. ONCE PAYMENT HAS BEEN RECEIVED IN FULL, OR ON ALL FUTURE LETTERS OF AGREEMENT.



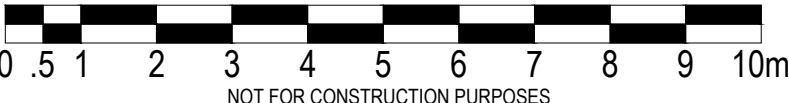
SITE PLAN
SCALE 1:200

ALL WORKS OUTSIDE OF LOT 1 ARE BY
COUNCIL AS PART OF THE CANTERBURY
AQUATIC AND LEISURE CENTRE PROJECT

LEGEND

- EXTENT OF AMENDMENT PROPOSED UNDER THIS APPLICATION
- EXISTING ELEMENTS AND ELEMENTS PROPOSED UNDER CLAC DA TO BE REMOVED FOR THIS APPLICATION
- HATCH INDICATING EXTENT OF REPLACEMENT TURF UNDER THIS APPLICATION
- HATCH INDICATING AREAS OF TURF TO BE REINFORCED FOR VEHICLE CARRIAGE
- TREES PROPOSED UNDER CLAC DA TO BE REMOVED FOR THIS APPLICATION
- EXISTING TREES PROPOSED TO BE RETAINED (GREEN LINE)
- EXISTING TREES PROPOSED TO BE REMOVED (RED DASH)

ALL SURFACE TREATMENTS, LEVELS, AND LOCATIONS, MATERIALS AND HEIGHTS OF RETAINING WALLS, AS SPECIFIED BY OTHERS. PLEASE REFER TO THE ARCHITECTURAL SET FOR FURTHER DETAILS.



AMENDMENTS:	DATE:	AMENDMENT	DRAWN:
2024.12.20	E-MINOR AMENDMENTS	CJ	

PROJECT:	DATE:	REF #:
PROPOSED DEVELOPMENT	2024.11.28	D1620
DRAWN:	SHEET #:	
CJ	2 of 2	
SCALE: 1:100 @ A1		

NOTES

- PRIOR TO COMMENCEMENT OF WORKS CLIENT SHALL VERIFY THAT CONTRACTORS ARE LICENSED AND INSURED TO CARRY OUT ALL WORKS.
- CLIENT/CONTRACTOR TO CHECK CERTIFICATION AND STAMPED LANDSCAPE PLAN PRIOR TO WORKS COMMENCING.
- CONTRACTOR TO LOCATE AND PROTECT ALL SERVICES PRIOR TO COMMENCEMENT OF WORKS. ALL SERVICE LIDS, PITS, AND VENTS ARE TO BE LEFT EXPOSED AND UNCOVERED BY LANDSCAPE WORKS. ON-SITE ADJUSTMENT OF SERVICES TO ACCOMMODATE LANDSCAPE WORKS SHALL BE WITH THE APPROVAL OF, AND AT THE DIRECTION OF, THE RELEVANT REGULATORY BODY. ANY DAMAGE TO SERVICES CAUSED BY WORKS SHALL BE MADE GOOD BY CONTRACTOR, AT CONTRACTORS EXPENSE, AND TO PROJECT MANAGER, OR REGULATORY BODIES' SATISFACTION.
- ALL LEVELS, AND LOCATION OF WORKS, ON THIS PLAN ARE "BEST GUESS" INDICATIVE ONLY, BASED ON THE INFORMATION PROVIDED, AND SITE CONTRACTOR SHALL ADAPT WORKS TO SITE CONDITIONS ACCORDINGLY.
- ALL LANDSCAPE WORKS SHALL COMPLY WITH ALL COUNCIL DA & CC SPECIFICATION, AND AUS-SPEC-1-NSW C273 "LANDSCAPING" SPECIFICATION.
- ALL IRRIGATION SHALL COMPLY WITH ALL RELEVANT WATER AUTHORITY REGULATIONS, AS WELL AS AS 2898 SPECIFICATION.
- ALL MATERIALS SHALL BE FIXED TO MANUFACTURERS SPECIFICATION.
- ALL GARDEN BEDS NOT DIRECTLY IN CONTACT WITH THE EXISTING SITE SOIL SHALL BE PROVIDED WITH SUFFICIENT DRAINAGE.
- EDGING TO BE PROVIDED TO ALL MEETINGS OF DIFFERENT MATERIALS UNLESS OTHERWISE STATED. TRIP HAZARDS ARE TO BE IDENTIFIED AND RECTIFIED AS PART OF THE CONSTRUCTION PROCESS.
- WEEDMAT SUGGESTED UNDERNEATH GRAVEL PATHWAYS.
- GARDEN BEDS IN OSD BASINS TO BE NON-FLOATABLE DECORATIVE GRAVEL.
- BUFFALO TURF, OR NON-WEED SPECIES TURF/LAWN, SUGGESTED.
- CONTRACTOR TO MAKE GOOD NATURE STRIP TURF TO COUNCIL SPECIFICATION.
- REFER TO HYDRAULICS PLAN FOR OSD BASIN, & DRAINAGE DESIGN, FINAL LEVELS. ALL SITE WORKS AND DRAINAGE ARE TO BE SUBJECT TO ENGINEERS DETAILS AND CERTIFICATION. IN THE ABSENCE OF ENGINEERS SPECIFICATION ALL SITE AREAS ARE TO BE PROVIDED WITH SUFFICIENT PITS AND DRAINAGE, AND ALL AREAS TO BE GRADED TOWARDS SUCH PITS.
- DIMENSIONS SHOULD ALWAYS TAKE PRECEDENCE OVER SCALING.
- ARCHITECTURAL SET-OUT NOT TO BE TAKEN FROM LANDSCAPE PLANS.
- ALL WORKS SHALL BE CONSTRUCTED TO AUSTRALIAN STANDARD, CODE, COUNCIL CONDITION, OR BCANCC GUIDELINES. IN THE EVENT OF ANY DISCREPANCY BETWEEN THIS LANDSCAPE PLAN AND ANY RELEVANT STANDARD, CONDITION, GUIDELINE, OR CODE, THE STANDARD, CONDITION, GUIDELINE, OR CODE SHALL TAKE PRECEDENCE.
- ALL PLANS, DESIGNS, AND IDEAS REMAIN THE PROPERTY OF D.A. LANDSCAPE PLANS AND SHOULD NOT BE COPIED, REPRODUCED OR CONSTRUCTED WITHOUT THE WRITTEN PERMISSION FROM THE OWNER.

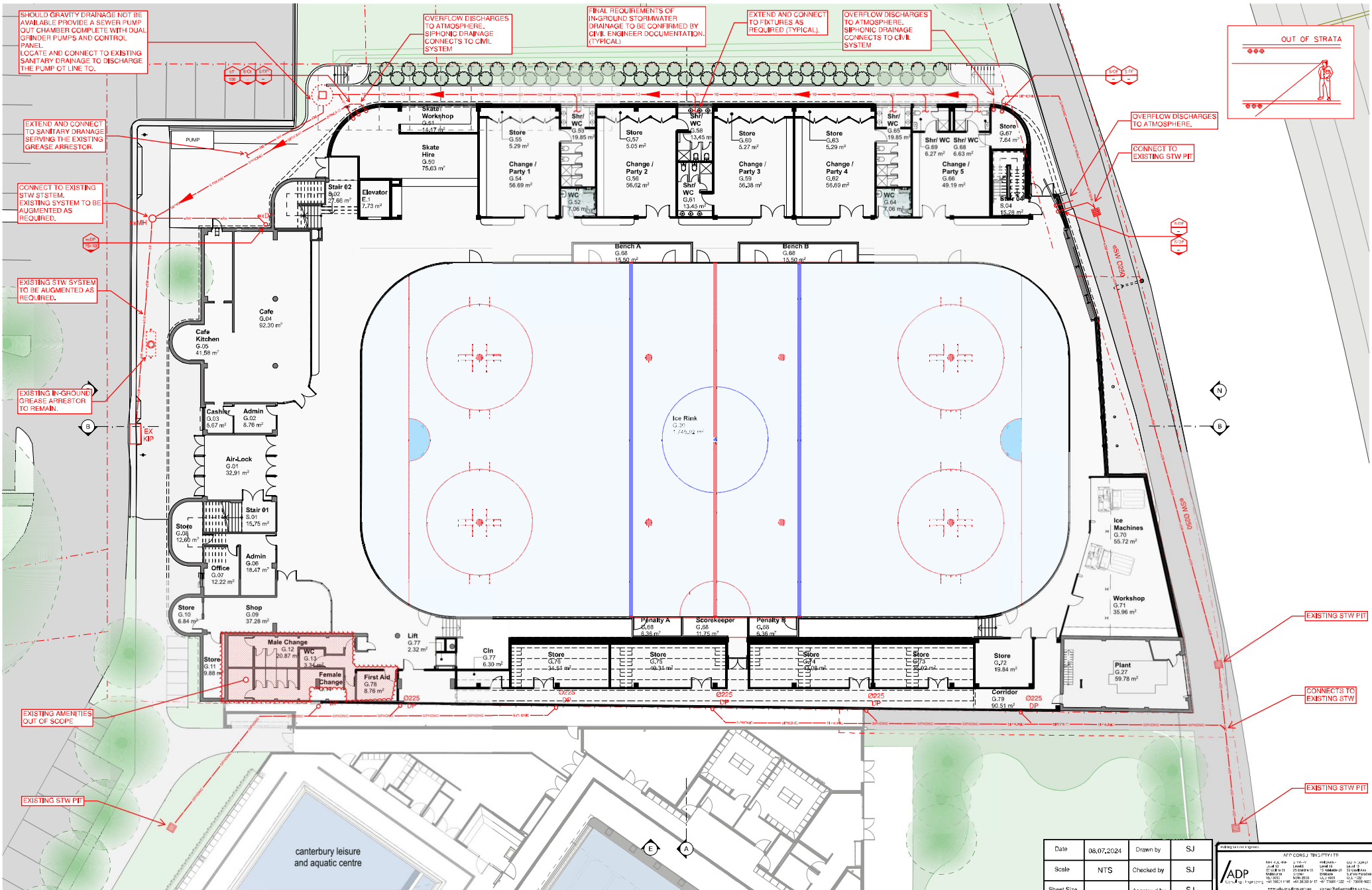
DISCLAIMERS

- SITE SURVEY PROVIDED BY OTHERS. ALL DISCLAIMERS CARRIED BY PROVIDED SURVEY ARE CARRIED OVER TO THIS DOCUMENT.
- ALL LEVELS AND LOCATIONS OF SERVICES MUST BE LOCATED AND PROTECTED ON SITE BY CONTRACTOR PRIOR TO COMMENCEMENT OF WORKS. "DIAL BEFORE YOU DIG" SHOULD BE CONTACTED FOR RELEVANT INFORMATION.
- EXISTING TREE SPREAD APPROXIMATE ONLY.
- CALCULATED AREAS ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION OR TENDERING. STANDARD PERCENTAGES SHOULD BE ALLOWED FOR CUTTING AND WASTAGE.
- NO LIABILITY WILL BE ACCEPTED FOR ANY LOSS, DAMAGE, HARM, OR INJURY, WHETHER SPECIAL, CONSEQUENTIAL, DIRECT, OR INDIRECT, SUFFERED BY YOU OR ANY OTHER PERSON AS A RESULT OF THE USE OF THIS DRAWING.
- D.A. LANDSCAPE PLANS TAKES NO RESPONSIBILITY FOR ANY VARIATIONS IN DESIGN, CONSTRUCTION METHODS, MATERIALS OR SPECIFICATIONS WITHOUT WRITTEN APPROVAL.

TITLE:
SITE PLAN

ADDRESS:
179 PHILLIPS AVENUE
CANTERBURY

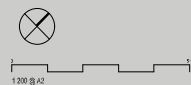
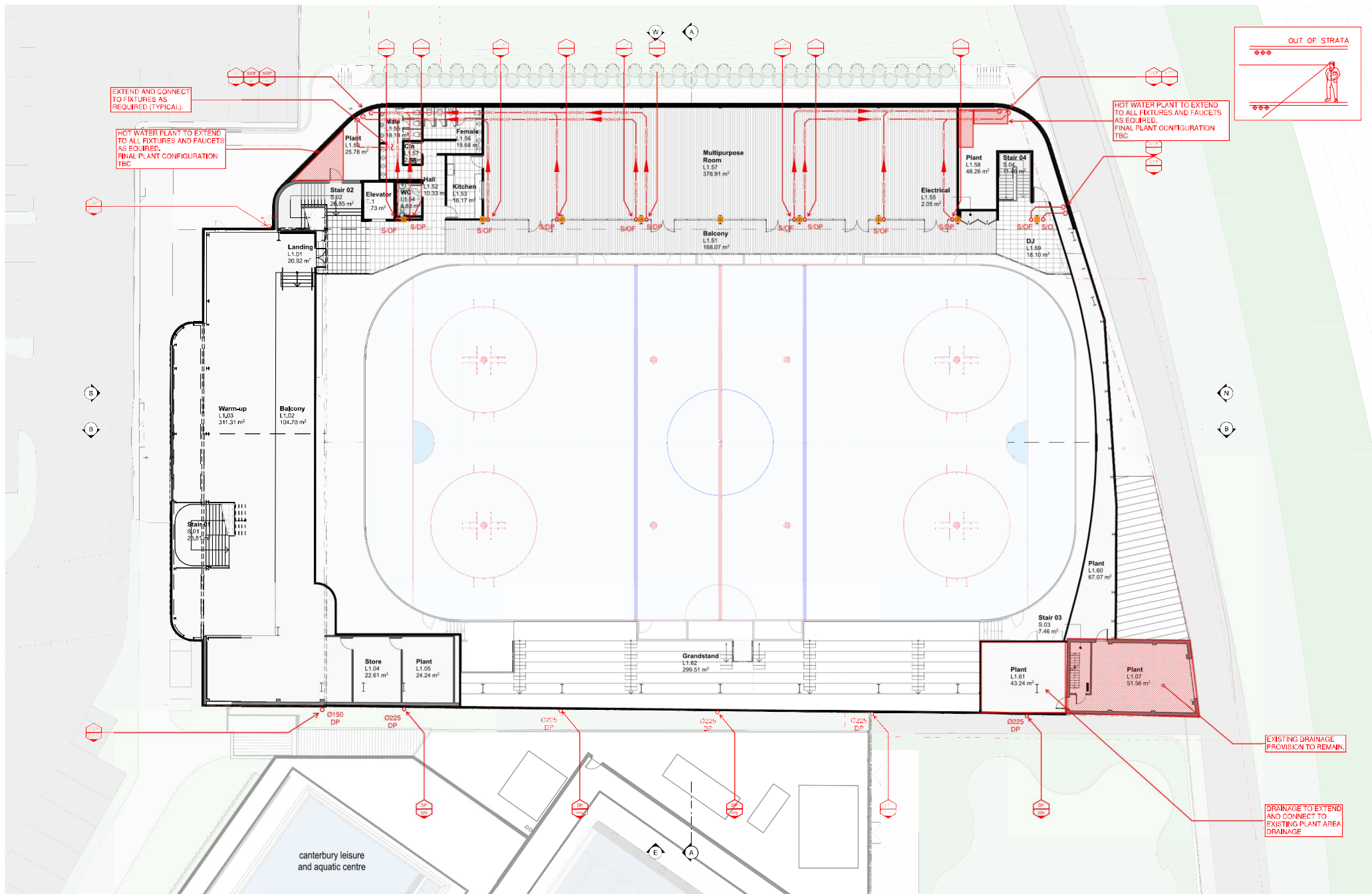
CLIENT:
ICE SKATING CLUB OF NSW CO-OPERATIVE



kennedy associates architects

Project
Canterbury Olympic Ice Rink Redevelopment
17A Phillips Ave
Canterbury NSW 2193

Date	06.07.2024	Drawn by	SJ		<small> ADP CONSULTING PTY LTD 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17A Phillips Ave
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PB Preliminary Schematic Design 31/5/2024 source file: 2221-SD Master_v06.rvt
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First Floor - Proposed Plan

